

# **MOHAVE GENERATING STATION (MGS). LAUGHLIN, NV**

## **SITE HISTORY**

### **Background:**

The Mohave Generating Station property encompassed approximately 2,500 acres in the Mohave Desert adjacent to the community of Laughlin Nevada. During its operation, the plant consisted of two 790-MW coal-fired generation units that produced enough power to energize over 1.5 million homes. The plant shut down in December 2005 after three decades of operation followed by decommissioning and demolition between 2009 and 2013.

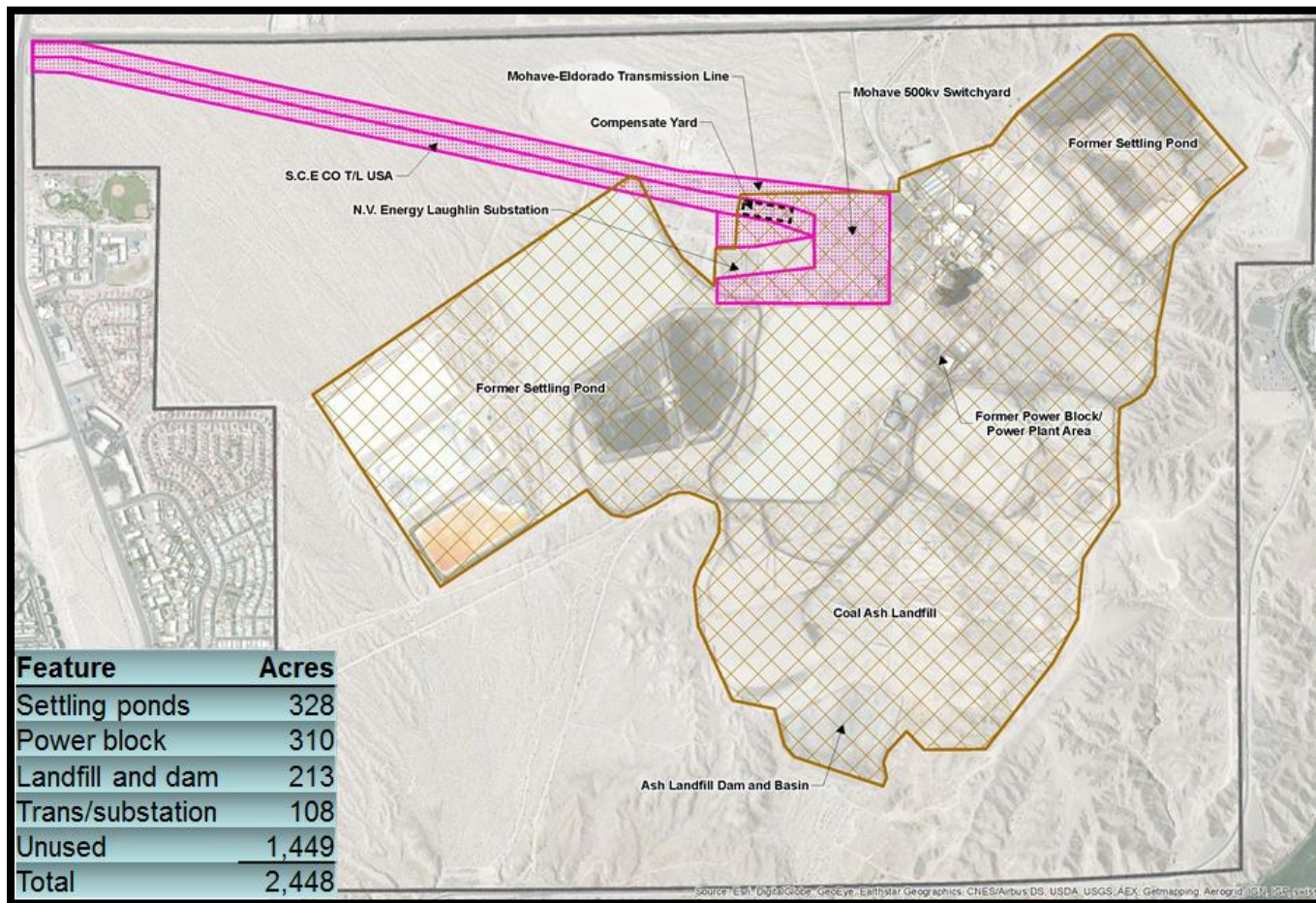
Since the completion of demolition, significant effort has been the focus to complete environmental analyses, remediation, and acquiring approvals necessary for property disposition.

### **Operating and Governance Structure:**

1. Operator: Southern California Edison (SCE)
2. Ownership (as of May 2018): SCE 56%, LADWP 30%, and NVE 14%.
3. Decommission and Demolition Completed: Between Dec. 2005 and Dec. 2013, Total Cost: \$57.9M
4. Operational Structure (post decommissioning): There is no existing "Governance Agreement" in place. A draft version has been crafted, but no executed yet by all co-owners. The co-owners are maintaining the site based on prudent utility practice. Scheduled E&O and Coordinating Committee meetings are conducted to assure site safety and environmental mitigations.

**Ownership Breakdown:** During operation - Southern California Edison (SCE): 56%, Los Angeles Department of Water and Power (LADWP): 30%, and NV Energy (NVE): 14%

**Land Allocations:** MSGS site feature past and existing land uses.



**Site Disposition Project:** The Mohave Site Disposition Project describes the process for disposing of the majority of the site. Approximately 75% to 80% of the property will be disposed of through public sale. The remaining portions of the property will be divided into single co-owner purchased property for existing or future facilities or retained under collective co-ownership for on-going monitoring and maintenance purposes. SCE, as the majority owner and Operating Agent, will facilitate the property disposition process in collaboration with the other co-owners. SCE's Power Production Department (PPD) Project Management group is responsible for managing the scope, cost, and schedule portions of the disposition plan utilizing periodic team meetings, action item tracking, and the change control process

**Ongoing Challenges:** Maintenance activities are continuous after storm events. Storm event damage include degradation of perimeter fencing, road damage, rut development along v-ditches at the Ash Canyon Landfill, and blocked culverts that handle storm runoff at the settlement basins.

**Property Use Restrictions:** The Nevada Department of Environmental Protection has placed restrictions on the use of the property in perpetuity primarily to minimize and/or eliminate any impacts to groundwater.

- Groundwater extraction is prohibited on the entire property.
- For approximately 702 acres on the eastern portion of the property, additional restrictions prohibit above-ground storage including swimming pools, ponds, car washes, golf course water features, etc.
- The third restricted area applies to a small portion of land located in the northeast corner of the property. The restriction allows an exception to the above-ground storage restriction for a single existing municipal water storage tank

**Land Sale Approval Process:** The sale of the land will require approvals from several governmental agencies:

- Nevada Department of Environmental Protection - Environmental covenants defining use restrictions, monitoring and remediation plans, and other permits
- Clark County - Approval of parcel maps
- California Public Utilities Commission - Required for SCE
- City of Los Angeles City Council and Mayor - Required for LADWP